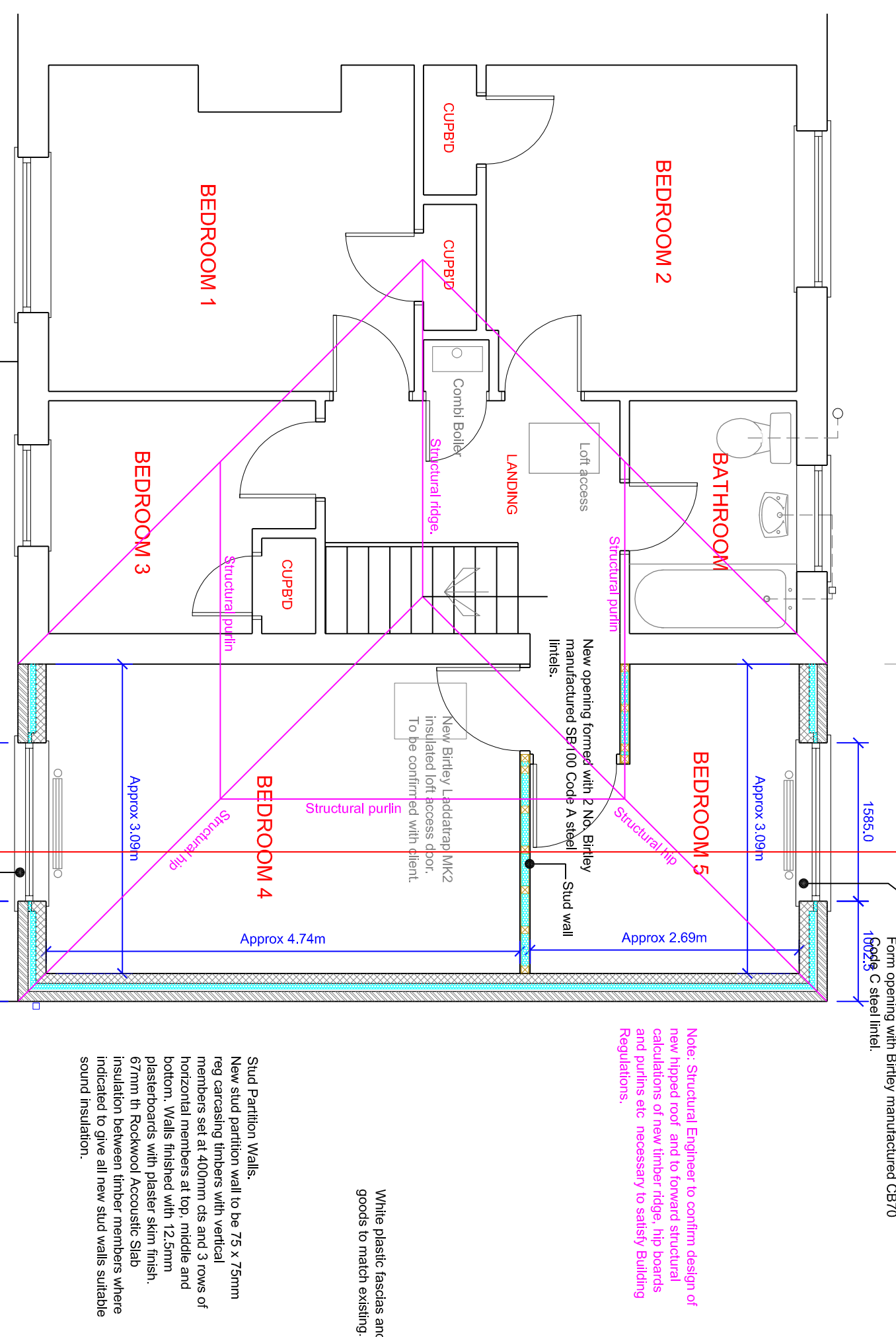
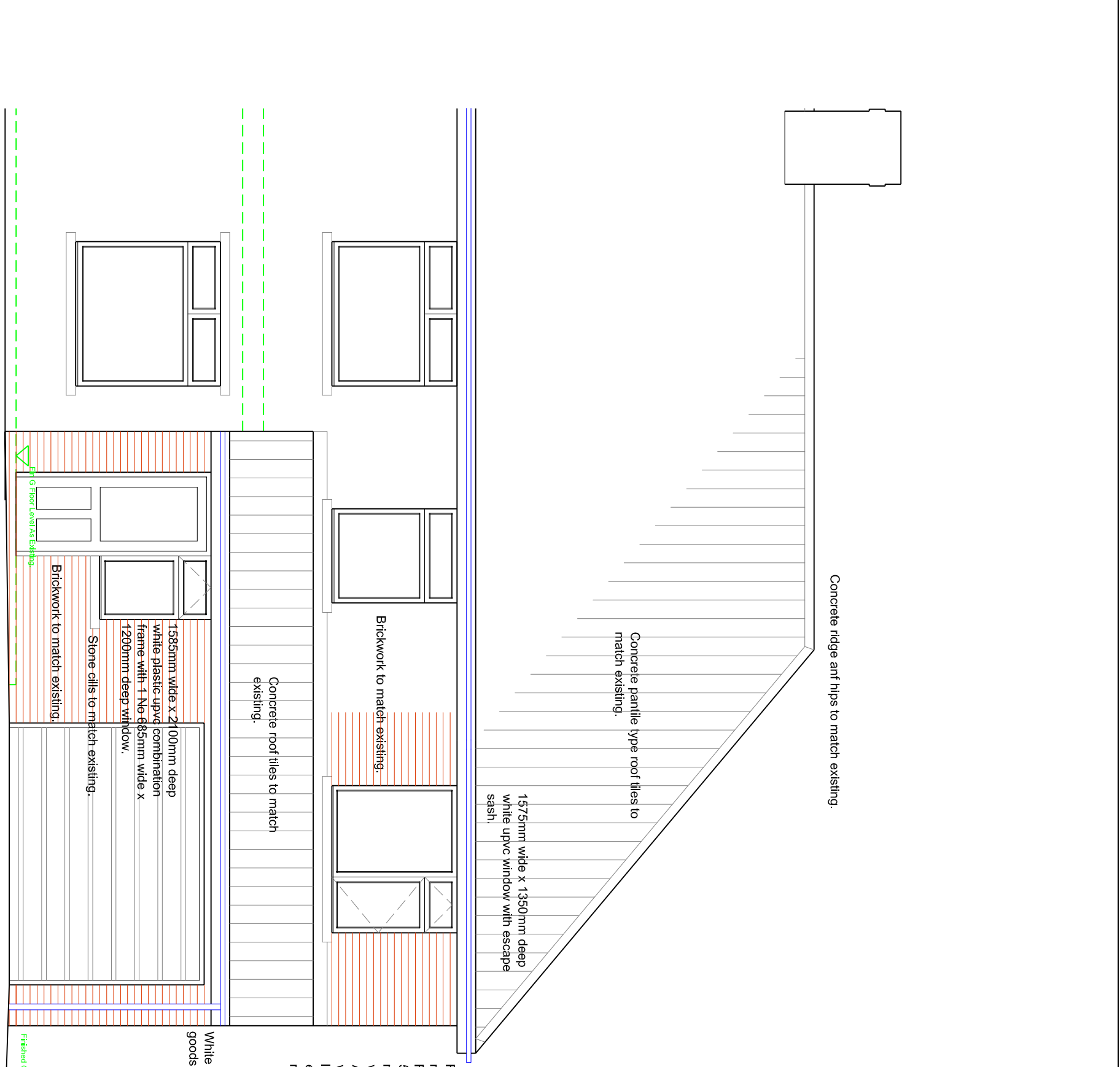


PROPOSED GROUND FLOOR PLAN



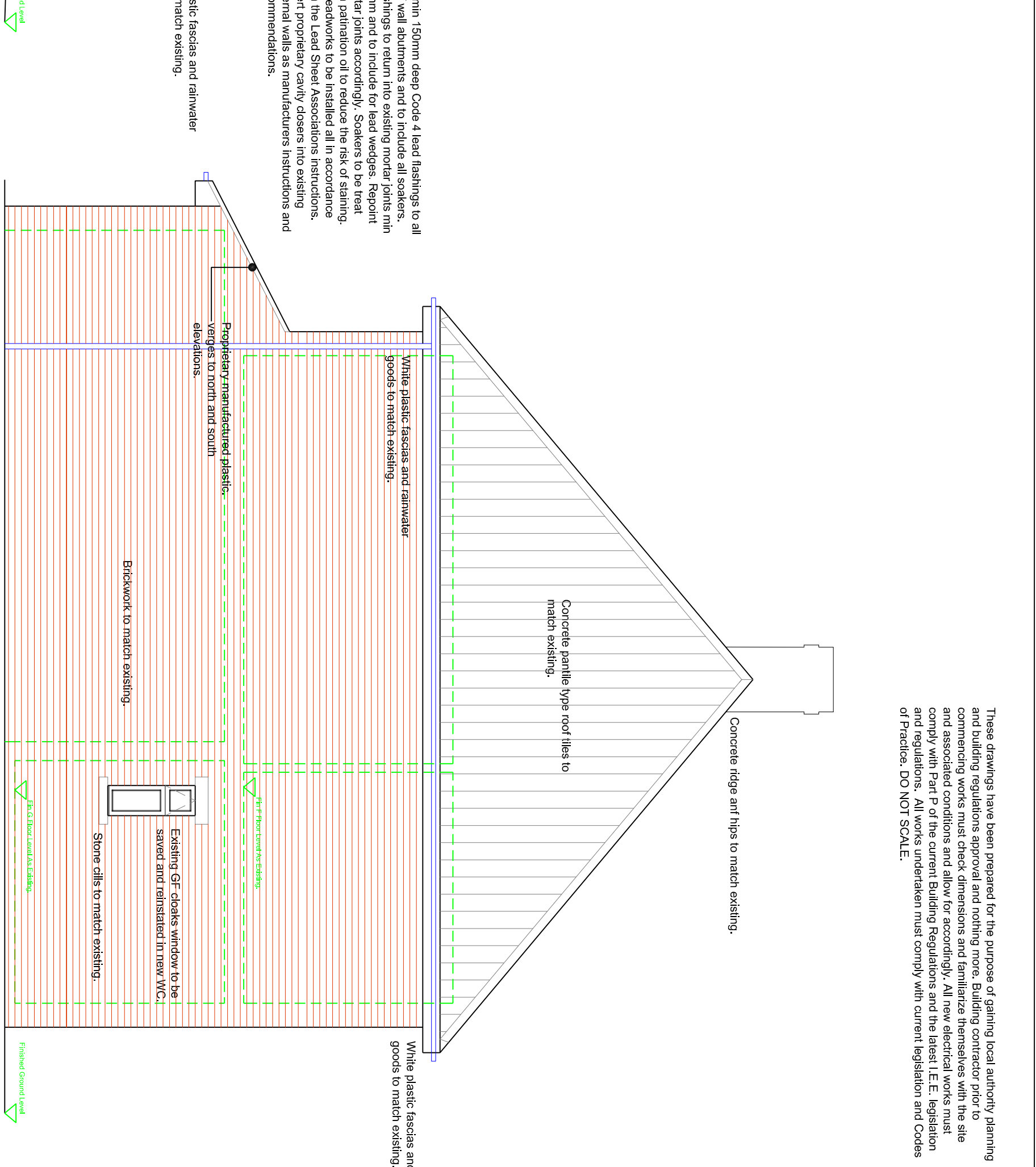
PROPOSED FIRST FLOOR PLAN



PROPOSED FRONT ELEVATION (WEST)

Contractor to confirm with client exact kitchen layout prior to commencing works. Kitchen supplier to check all dimensions and layout prior to supply. All electrical points and appliance positions to be confirmed by the kitchen supplier prior to works commencing.
Existing drainage positions are assumed and are to be checked by contractor and allowed for accordingly prior to works commencing.

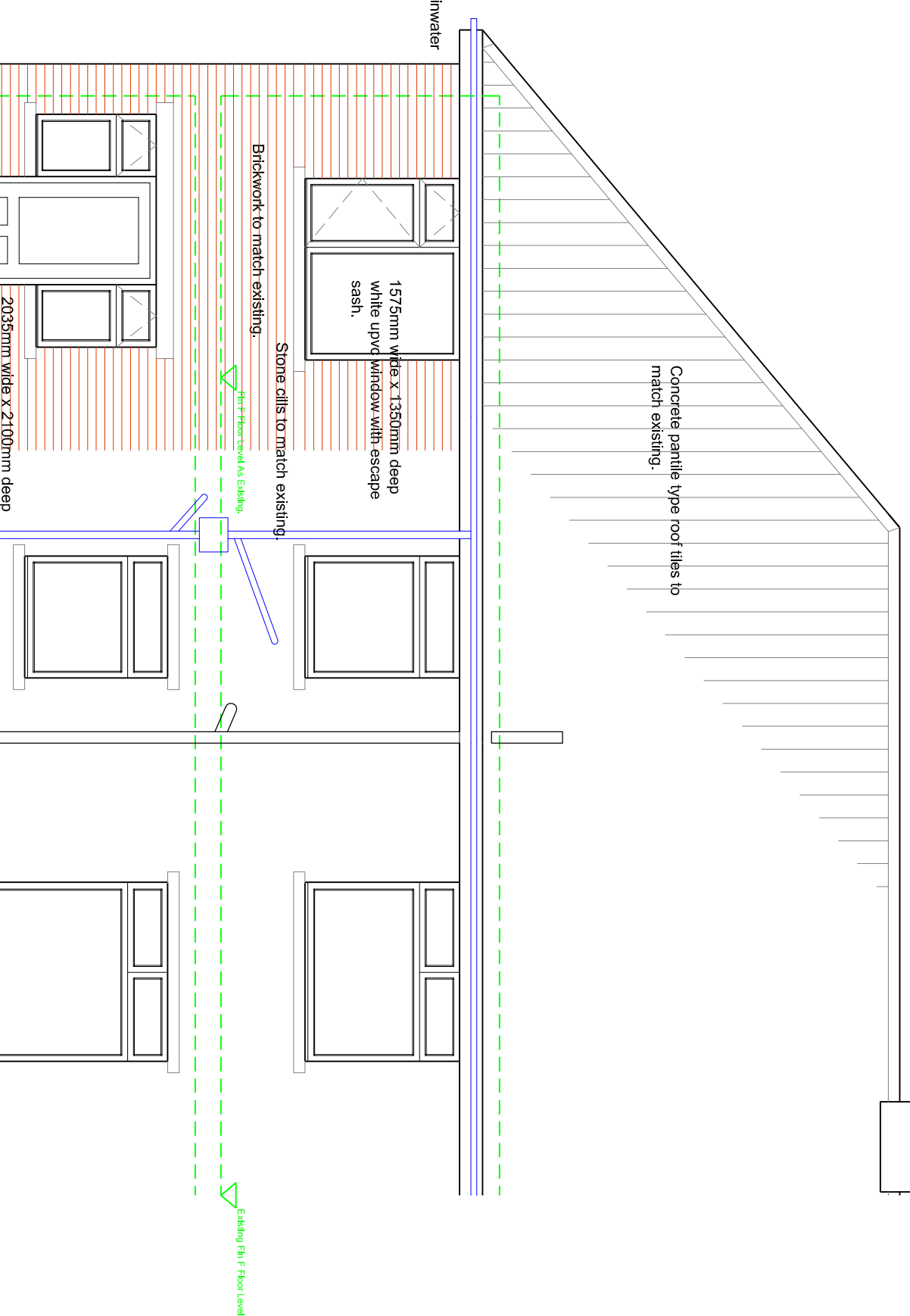
RAINWATER GOODS & DRAINAGE
Rainwater goods to be plastic to match existing and to the entire satisfaction of the local authority. All external rainwater pipes to connect to plastic Hepworth back melt gullies. All new drainage to be Hepworth 110mm dia. Plastream and to comply with gullies. All new drainage to have min. 150mm concrete surround with local joints at each pipe connection. All new manholes/inspection chambers to be plastic FRP and supplied by Hepworth (to be confirmed on site). Drainage to be 100mm slotted and installed and installed over with p.c. finish. All drainage to be to the entire satisfaction of the Local Authority Building Control Officer.
New wastes from sink units to be 50mm dia. pipe with 75mm hose.
Wastes to be concealed behind new units or boxed stairings to match existing as dictated by mechanical room layout.



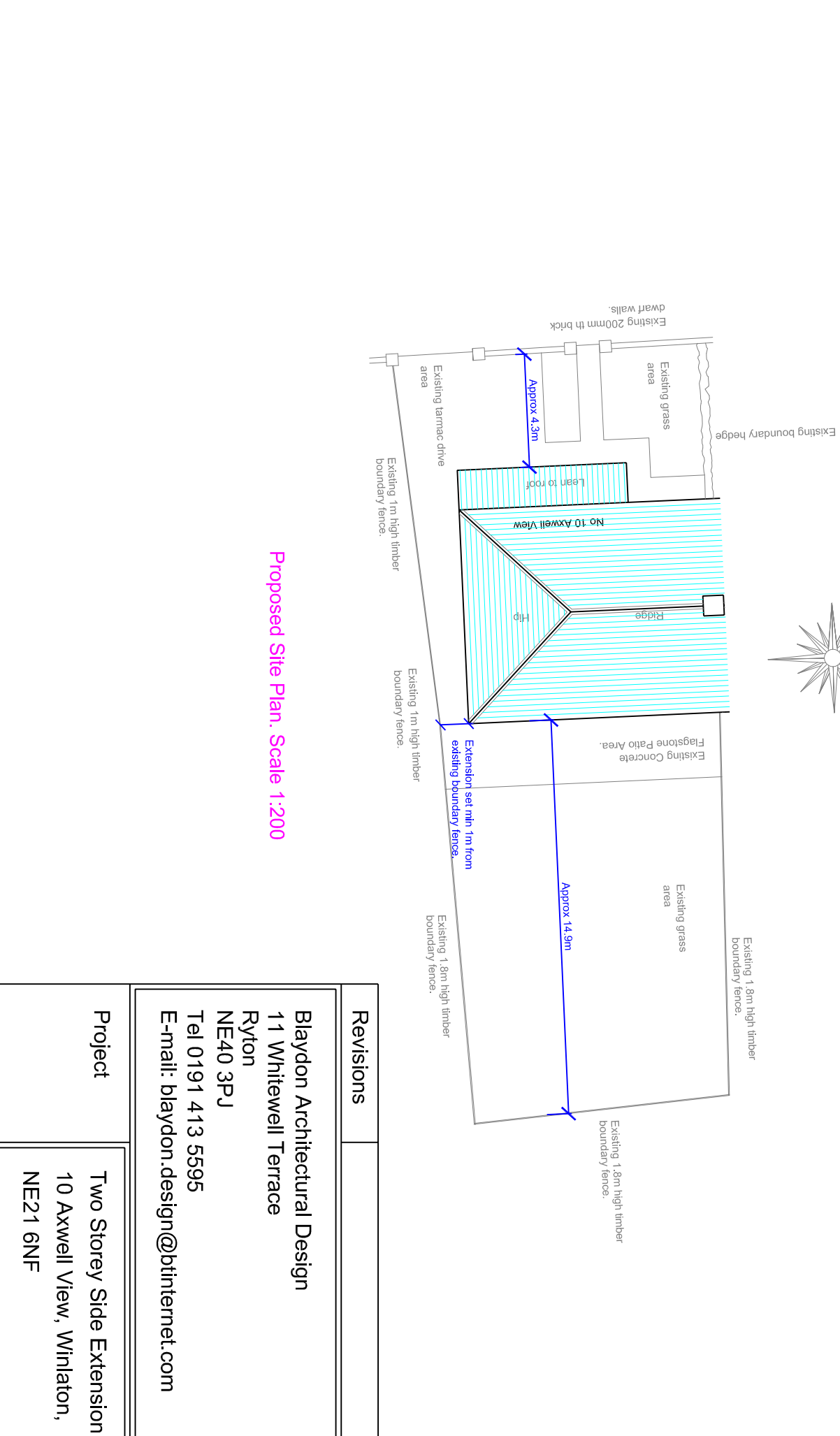
PROPOSED SIDE ELEVATION (SOUTH)

Mechanical and Electrical
Main contractor to include for the design and installation of all Mechanical and Electrical items. Contractor to discuss all lighting and electrical requirements with the client prior to commencing works.
Radiator positions to be agreed with client prior to works commencing.
Electrical fittings to be fitted as follows:
SPT switches 200mm from finished floor to top of fitting
SPT switches 150mm from ceiling to top of fitting. Provide mainline fire smoke detectors to GF Hall and first floor landing areas.
All electrical work required to meet the requirements of Part P (Electrical Safety) and completion of the work should be certified by a competent person. This may require an appropriate BS7671 electrical installation certificate to be issued for the works by a person competent to do so.
Provide mechanical extract fans as follows:
Proposed Utility Room provide 30 L/s. Proposed GF WC to provide 6 lit. Kitchen to provide 60 lit in room or 30 lit in hood.

These drawings have been prepared for the purpose of gaining local authority planning and building regulations approval and nothing more. Building contractor prior to commencing works must check dimensions and tolerance tolerances with the site surveyor. All works undertaken must comply with current legislation and Codes of Practice. DO NOT SCALE.



PROPOSED REAR ELEVATION (EAST)



Proposed Site Plan Scale 1:200

Drawings to be read along with Drawing No's Small 1801 & 1803.

Revisions	
Blaydon Architectural Design 11 Whitehall Terrace Rayon NE40 3PJ Tel: 0191 413 5595 E-mail: blaydon_design@btinternet.com	
Project	Two Storey Side Extension To 10 Axwell View, Winlaton, NE21 6NF
Drawing	Proposed Floor Plans, Elevations and Site Plan.
Drawn	JPB
Date	May 2013
Scale(s)	1:50 & 1:200. Paper size A1
Drawing no.	Small 1802A